

3191  
**NINE**  
**MILE**

Commercial coolness has never been more convenient.

**EASY TO SEE, EASY TO GET TO:**

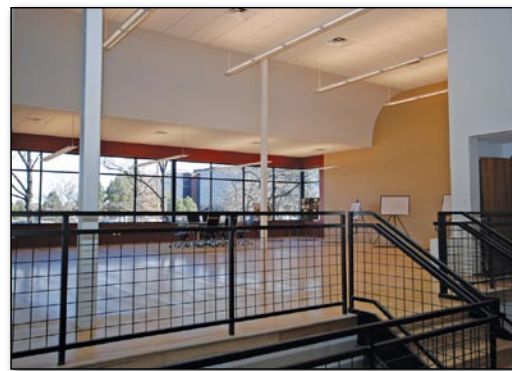
- Visible and accessible from I-225 and Parker Rd., just 5 minutes from I-25
- Nine Mile Station light rail/park-n-ride in walking distance
- Excellent access to DIA (15 min.), Fitzsimmons (8 min.), Skyridge Medical Center (15 min.), Aurora Medical Center (3 min.), Denver Tech Center (5 min.)
- Take advantage of this prime location without the high DTC lease rates or traffic congestion
- Prime Parker Road location visible to over 60,000 cars per day



**A HIGH-VISIBILITY, STAND-ALONE LOCATION THAT'S CLOSE TO YOUR BUSINESS BASE**

With a premier blend of transit, retail, hotel, office and housing nearby, 3191 is perfect for:

- Call and data centers
- Conference Center
- Office users with attitude
- Sports and fitness
- Business and technology
- Healthcare
- Education
- Arts and culture
- Church and Synagogue



I-225 & Parker Road  
3191 S. Vaughn Way  
Aurora, Colorado 80014

**3191NINEMILE.COM**

**For Sale or Lease**  
**FLEXIBLE TERMS**



## EVERYTHING YOU WANT, WITHOUT THE YAWN

Think outside the bland with distinctive, contemporary architecture and flexible floorplans:

- 47,084 s.f. on two terraced levels with mountain views
- Loft design with flexible, open floorplans, plus secure lower level space
- 223 on-site, secure parking spaces (some covered) providing 5:1000 ratio
- 10-30 foot ceiling heights
- \$2.0m in renovations—new roof, parking, landscaping and entrances on the outside; new windows, bathrooms and hardwood floors inside

## HIGHLY VISIBLE HIGHLY PROFESSIONAL

Surrounded by high-value capital-improvement projects, your business can take advantage of the area's growing momentum:

- Signage – building and monument-visible from I-225 and Parker Rd.
- On-site Red Lion Hotel and conference center
- TOD/light rail/Park-n-Ride within easy walking distance
- Restaurants, shopping, health club, Cherry Creek Reservoir
- Ready workforce within miles



## ALL YOUR INFRASTRUCTURE IS RIGHT HERE

- 1600 amps of 277/480 - 3 phase power
- 148 tons of roof top HVAC
- 2" domestic water service, 4" fire line
- Fire sprinklers throughout the building
- High-speed fiber available

Now's The Time to Make Your Move.

Control your business destiny – and your bottom line. Since 3191 Nine Mile is locally owned by Old Vine Property Group, we'll work with you on a sale or lease arrangement that makes good sense for your business. Buy now or trade up to a better location and a better building without paying more in rent.

**Contact: Old Vine Property Group**

Mark Cytrynbaum mark@oldvine.net 303.777.2500 x 100  
Ari Stutz ari@oldvine.net 303.777.2500 x109

I-225 & Parker Road • 3191 S. Vaughn Way • Aurora, Colorado



**3191NINEMILE.COM**